

DEFINITIVE SITE PLAN  
CLUSTER GROUP OF SINGLE FAMILY DWELLINGS  
AT  
47R FOURTH STREET  
WORCESTER, MASSACHUSETTS 01602

RECORD APPLICANT:  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MA 01590

RECORD OWNER:  
DANIEL YARNIE  
37 WEST MILLBURY ROAD  
SUTTON, MA 01590

LAND PLANNERS—CIVIL ENGINEERS:  
J.M. GRENIER ASSOCIATES INC.  
325 DONALD LYNCH BOULEVARD SUITE 100  
MARLBOROUGH, MA 01752  
(508) 845-2500

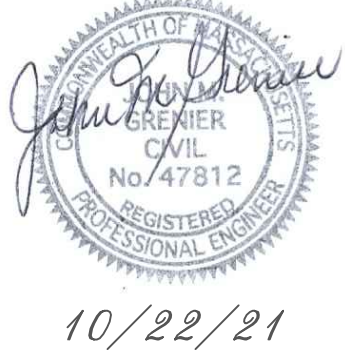
LAND SURVEYORS:  
ROBERT D. O'NEIL JR.  
66 DRURY LANE  
WORCESTER, MA 01607

ZONING DISTRICT: RESIDENCE, LIMITED (RL-7)



LOCUS:  
SCALE: 1"=100'

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REV. NO.	DATE	REVISION
SCALE:	AS SHOWN	DATE: OCTOBER 22, 2021
COVER SHEET		
SHEET NO.:	PROJECT NO.:	
SHEET 1 OF 11	G-636	





ZONING LEGEND:			
DISTRICT – SINGLE & TWO FAMILY RESIDENTIAL (RL-7)			
CRITERION	REQUIRED (CONVENTIONAL)	REQUIRED (CLUSTER)	PROPOSED
MAXIMUM # OF LOTS	N/A	SEE NOTE 1	9 UNITS
PROPOSED DWELLING TYPE			UNIT 9 ONLY ALL BUT UNIT 9
SINGLE-FAMILY DETACHED			
SINGLE-FAMILY SEMI-DETACHED			
MIN. LOT AREA	7,000 SF	N/A	2,923 SF (UNIT-9)
SINGLE-FAMILY DETACHED	4,000 SF/DU	N/A	2,323 SF
SINGLE-FAMILY SEMI-DETACHED	65 LF/DU	N/A	32.5 FEET
LOT FRONTAGE			
YARD SETBACKS			
FRONT	20 FEET	N/A SEE NOTE 2	SEE TABLE 3
SIDE	8 FEET	N/A SEE NOTE 2	SEE TABLE 3
REAR	20 FEET	N/A SEE NOTE 2	SEE TABLE 3
MAXIMUM % IMPERVIOUS SURFACE	N/A	40%	23.0% (SEE TABLE 2)
% OPEN SPACE	N/A	25%	64.8% (SEE TABLE 1)
BUILDING HEIGHT			
IN STORIES			
SINGLE-FAMILY DETACHED	2+	N/A	2+ SEE NOTE 4
SINGLE-FAMILY SEMI-DETACHED	2+	N/A	2+ SEE NOTE 4
IN FEET			
SINGLE-FAMILY DETACHED	35 FEET	N/A	LESS THAN 35 FEET
SINGLE-FAMILY SEMI-DETACHED	35 FEET	N/A	LESS THAN 35 FEET
FLOOR TO AREA RATIO			
WITHOUT GARAGE	N/A	N/A	0.15
WITH GARAGE	N/A	N/A	0.17
TOTAL FLOOR AREA			
WITHOUT GARAGE	N/A	N/A	18,612 SQ. FT.
WITH GARAGE	N/A	N/A	21,978 SQ. FT.

NOTE 1 – MAXIMUM # OF LOTS PERMISSIBLE:			
MIN. LOT SIZE	7,000 SF/DU		
MAXIMUM # OF UNITS			
TOTAL PARCEL – WETLANDS – (25% TOTAL PARCEL)			
MINIMUM LOT SIZE			
127,897 – 20,388 (BYW) – 7,529 (RIVERFRONT EXCL. BYW) – 31,975			= 9.7 UNITS OR 9 UNITS

NOTE 2 – FRONT, SIDE AND REAR SETBACK DIMENSIONS			
PURSUANT TO ARTICLE VIII, SECTION 3 OF THE CITY OF WORCESTER ZONING ORDINANCE			
DIMENSIONAL CONTROLS IN LIEU OF THE CONVENTIONAL CONTROLS FOR CLUSTER GROUP			
OF SINGLE FAMILY DWELINGS ARE NOT PROVIDED; CONSEQUENTLY, THE PLACEMENT OF			
STRUCTURES AND CONFIGURATION OF STRUCTURES WAS GUIDED BY THE CHARACTERISTICS			
OF THE SITE, PROPOSED STRUCTURES AND NATURE OF THE EXISTING BUILT ENVIRONMENT.			
EACH PROPOSED STRUCTURE PROVIDES A MINIMUM FRONT, SIDE AND REAR YARD SETBACK			
WELL IN EXCESS OF THE MINIMUM REQUIRED PERMITTED BY THE UNDERLYING ZONING			
CLASSIFICATION. REFER TO TABLE 2 FOR ACTUAL SETBACKS TO PRIVATE DEDICATED AREAS			
AS WELL AS EXISTING PROPERTY BOUNDARIES.			

NOTE 3			
NO NEW LOTS ARE PROPOSED AS PART OF THIS DEVELOPMENT. THIS PLAN IS PRESENTED			
UNDER THE PROVISIONS OF THE CITY OF WORCESTER SUBDIVISION CONTROL REGULATIONS.			
AREAS DEFINED AND SHOWN AS UNIT-1 THROUGH UNIT-9 ARE PRIVATE DEDICATED EASEMENT			
AREAS FOR EACH UNIT. THEY ARE NOT TO BE CONSIDERED AS INDIVIDUAL LOTS.			

NOTE 4			
UNITS 1 THROUGH 8 ARE PROPOSED TO BE CONSTRUCTED AS SLAB ON GRADE. THE BOTTOM			
FLOOR CONTAINS A TWO CAR GARAGE AND BASEMENT WHICH IS NOT CONSIDERED AS HABITABLE			
LIVING SPACE. THE FIRST AND SECOND FLOORS ABOVE THE GARAGE ARE THE HABITABLE LIVING			
SPACE. NONE OF THESE UNITS INCLUDING UNIT 9 WILL BE CONSTRUCTED GREATER THAN 35 FEET			
MEASURED FROM THE TOP OF GARAGE SLAB TO TOP OF ROOF LINE.			

NOTE 5			
EACH UNIT WILL CONTAIN THREE BEDROOMS MINIMUM.			

NOTE 6			
EXISTING SIDEWALKS ALONG FOURTH STREET, ADMIRAL AVENUE & CENTER STREET DO NOT EXIST.			

NOTE 7			
ALL TREE AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH ASIAN LONGHORN BEETLE PROGRAM.			
REQUIREMENTS AND ALL PROPOSED TREES SHALL BE ASIAN LONGHORNED BEETLE RESISTANT			

NOTE 8			
THE ACCESS DRIVEWAY IS PROPOSED AS A PRIVATE WAY AND REMAIN PRIVATE IN PERPETUITY.			

NOTE 9			
ALL UNIT ADDRESSES WILL RETAIN THE 47 FOURTH STREET ADDRESS AND BE IDENTIFIED BY UNIT.			
THE DEVELOPER SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS.			

NOTE 10			
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FINAL APPROVED DEFINITIVE SITE PLAN ON			
FILE WITH DPRS AND ALL APPLICABLE GOVERNMENTAL CODES.			

NOTE 11			
NATIVE SOIL TYPES: PAXTON AND CHATFIELD-HOLLIS PER SOIL SURVEY WORCESTER COUNTY			
MASSACHUSETTS NORTHEASTERN PART			

NOTE 12			
THE PROPOSED DRIVEWAY WILL REMAIN AS SUCH AND WILL NOT BE CONVERTED INTO A PUBLIC WAY.			

NOTE 13			
NO ROCK CRUSHING OR GRINDING OPERATIONS SHALL BE PERMITTED ONSITE AND THE CONTRACTOR			
SHALL TAKE STEPS TO LIMIT UNNECESSARY NOISE AND COMPLY WITH THE CITY OF WORCESTER'S GENERAL			
REVISED ORDINANCE RELATIVE TO NOISE CONTROL.			

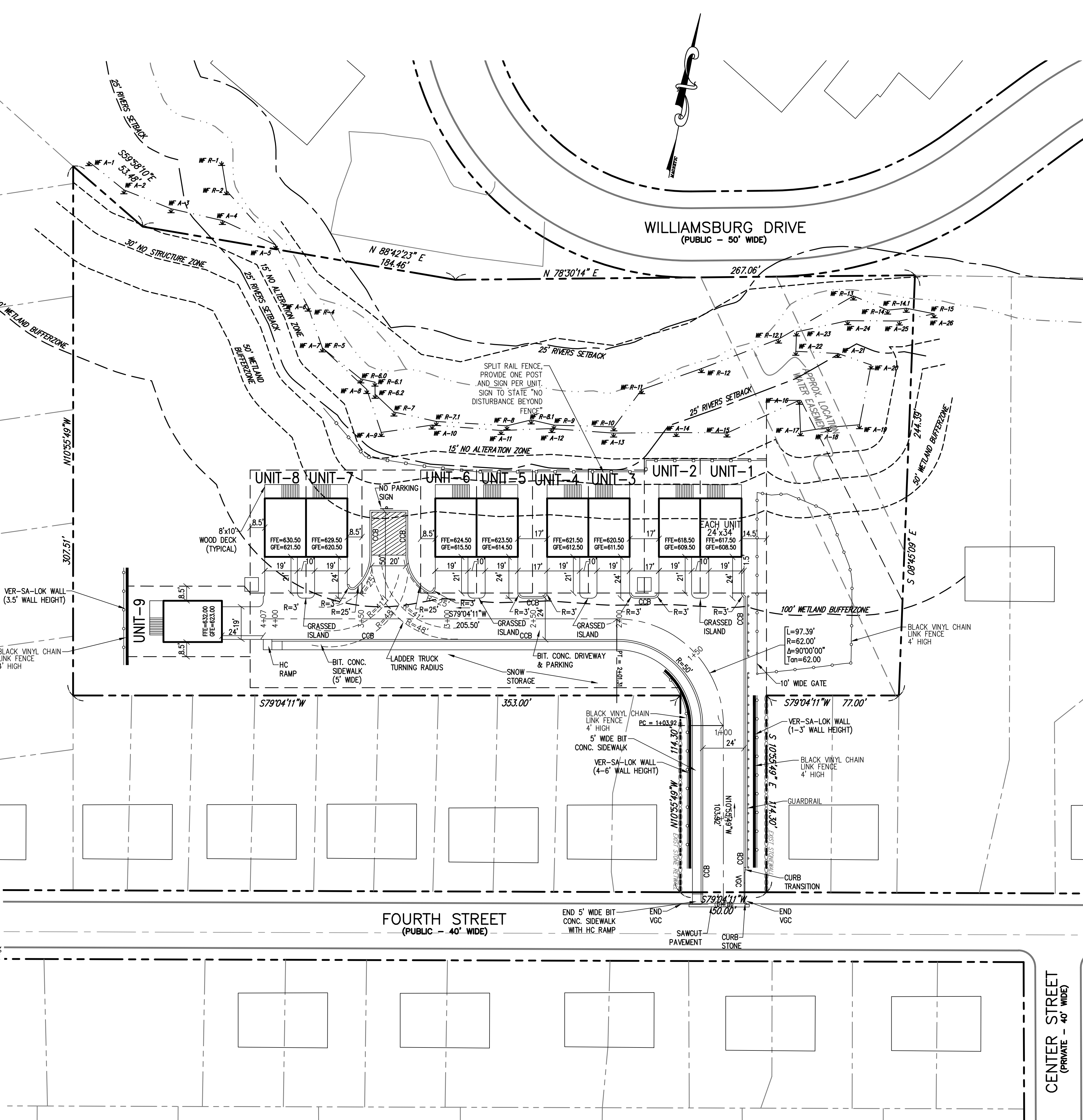
NOTE 14			
A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF WORCESTER'S DPW DIVISION OF ENGINEERING			
SHALL BE HELD PRIOR TO CONSTRUCTION.			

NOTE 15			
ALL WORK SHALL CONFORM TO THE CITY OF WORCESTER'S SUBDIVISION RULES AND REGULATIONS, ZONING			
ORDINANCE, PLANNING BOARD DECISION AND CONDITIONS OF APPROVAL, AND TO THE STANDARDS CONTAINED IN			
THE CITY OF WORCESTER, DEPARTMENT OF PUBLIC WORKS & PARKS, ENGINEERING DIVISION, CONSTRUCTION			
MANAGEMENT SECTION, "STANDARD SPECIFICATIONS & DETAILS", EDITION IN EFFECT AT TIME OF FILING APPLICATIONS.			

TABLE 1 – CONTIGUOUS % OPEN SPACE PROVIDED			
OPEN SPACE=((OPEN SPACE AREA/NET SITE AREA)*100) =((70,546/127,895-24,888 ACCES DRIVE AREA)*100)=68.4%			
(DOES NOT INCLUDE DRAINAGE EASEMENT) REFER TO OPEN SPACE PLAN (SHEET 9 OF 11) GRAPHICALLY DEPICTS THE			
THE OPEN SPACE INCLUDING ACTIVE RECREATION AREA.			

TABLE 2 – MAXIMUM % IMPERVIOUS FOR ENTIRE SITE			
% IMPERVIOUS=((IMPERVIOUS/ENTIRE SITE AREA)*100) =((29,456/127,895)*100)=23.0%			

TABLE 3 – INDIVIDUAL BUILDING SETBACKS			
AREA DESIGNATION	DEDICATED PRIVATE AREAS	EXISTING PROPERTY BOUNDARY	
	NORTH EAST SOUTH WEST	NORTH EAST SOUTH WEST	
UNIT-1	23.01' 14.50' 21.00' 0.00'	128.43' 94.49' 80.55' 364.50'	
UNIT-2	23.01' 0.00' 21.00' 8.50'	128.19' 118.48' 80.55' 340.50'	
UNIT-3	16.46' 8.50' 21.00' 0.00'	127.79' 159.45' 80.55' 299.50'	
UNIT-4	16.46' 0.00' 21.00' 8.50'	127.55' 183.43' 80.55' 275.50'	
UNIT-5	16.46' 8.50' 21.00' 0.00'	127.14' 224.40' 80.55' 234.50'	
UNIT-6	16.46' 0.00' 21.00' 8.50'	126.91' 248.38' 80.55' 210.50'	
UNIT-7	16.46' 8.50' 21.00' 0.00'	135.76' 323.45' 80.55' 135.38'	
UNIT-8	16.46' 0.00' 21.00' 8.50'	139.78' 347.44' 80.55' 111.38'	
UNIT-9	8.50' 16.37' 8.50' 21.09'	206.62' 394.40' 31.05' 52.50'	



LEGEND:	
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING CONTOUR – HIGH
---	EXISTING CONTOUR – LOW
---	PROPOSED CONTOUR – HIGH
---	PROPOSED CONTOUR – LOW
---	EDGE WATER
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	RIPARIAN ZONE
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING OVERHEAD WIRES
---	PROPOSED UNDERGROUND ELECTRIC
---	PROPOSED TREE LINE
---	PROPOSED EROSION CONTROL

10/22/21		

GRAPHIC SCALE	
( IN FEET )	
1 inch = 30 ft.	


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PREPARED FOR:	DANIEL YARNIE 37 WEST MILLBURY ROAD SUTTON, MASSACHUSETTS 01590
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PROPERTY OWNER:	DANIEL YARNIE 37 WEST MILLBURY ROAD SUTTON, MASSACHUSETTS 01590
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PREPARED BY:	J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752
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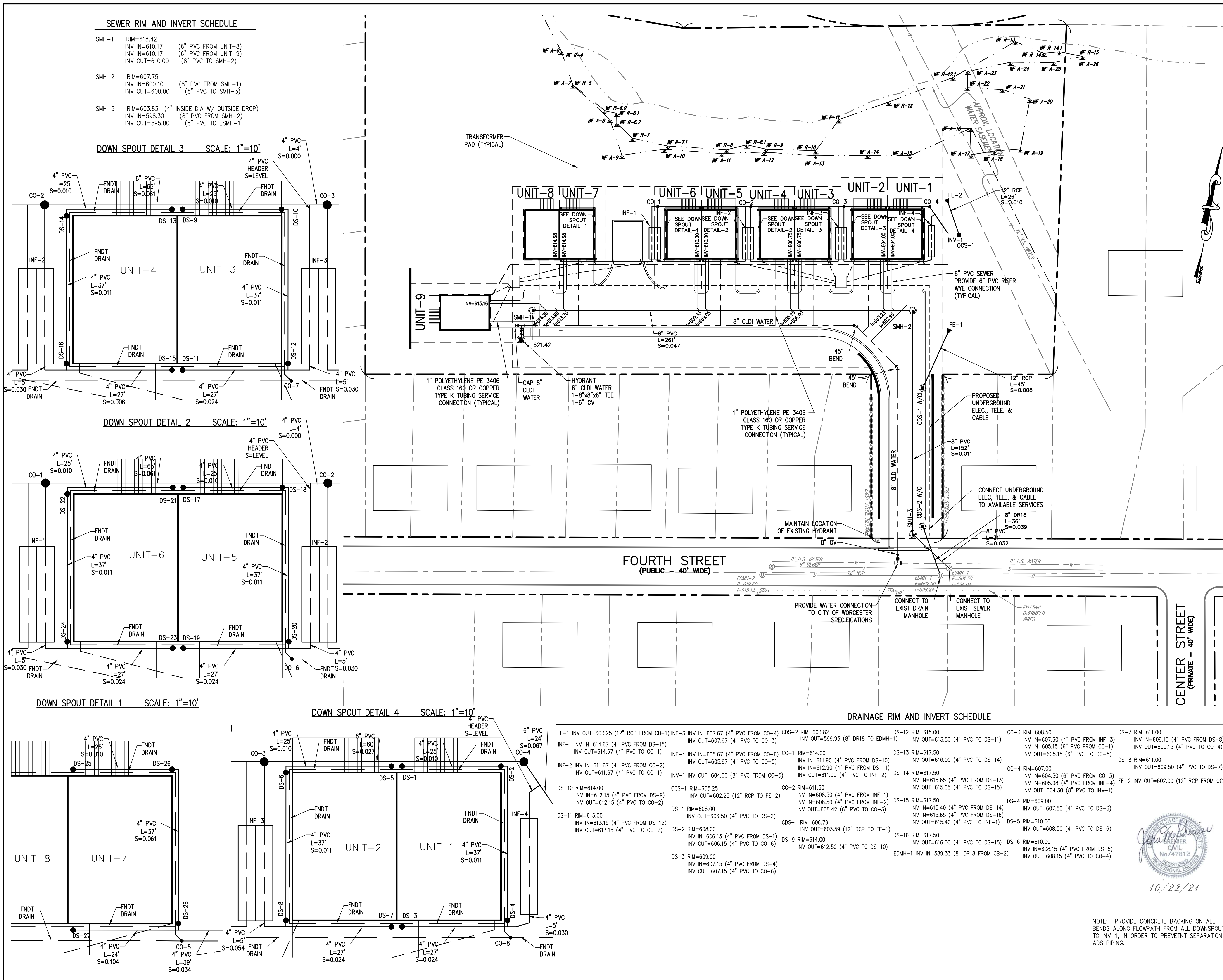
TELE. NO.:	(508) 845-2500
SCALE:	1" = 30'
DATE:	OCTOBER 22, 2021

LAYOUT PLAN	
SHEET NO.:	PROJECT NO.:
SHEET 3 OF 11	G-636



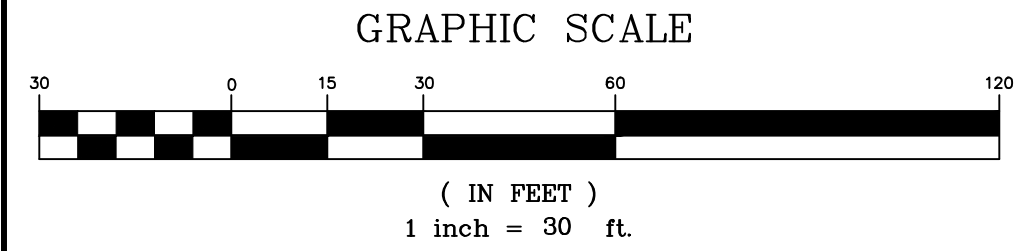






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  - PROPOSED EROSION CONTROL

- NOTES:**
- ALL TRENCHES WITHIN FOURTH STREET SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
  - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
  - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
  - SIZE OF FIRE SERVICE LINE TO BE DETERMINED BY FIRE FLOW REQUIREMENTS
  - DOMESTIC WATER LINE SHALL BE SLEEVED UNDER FOOTING WITH 2" MINIMUM DIAMETER CONDUIT.
  - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.
  - EXTERIOR MATERIALS ARE TO BE VINYL SIDING WITH ASPHALT ROOF SHINGLES.



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**WORCESTER, MASSACHUSETTS 01602**

**PREPARED FOR:**

**DANIEL YARNIE**

**37 WEST MILLBURY ROAD**

**SUTTON, MASSACHUSETTS 01590**

**PROPERTY OWNER:**

**DANIEL YARNIE**

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**PREPARED BY:**

**J.M. GRENIER ASSOCIATES INC.**

**325 DONALD LYNCH BOULEVARD SUITE 100**

**MARLBOROUGH, MASSACHUSETTS 01752**

**SCALE:**

**1" = 30'**

**DATE:**

**OCTOBER 22, 2021**

**UTILITY PLAN**

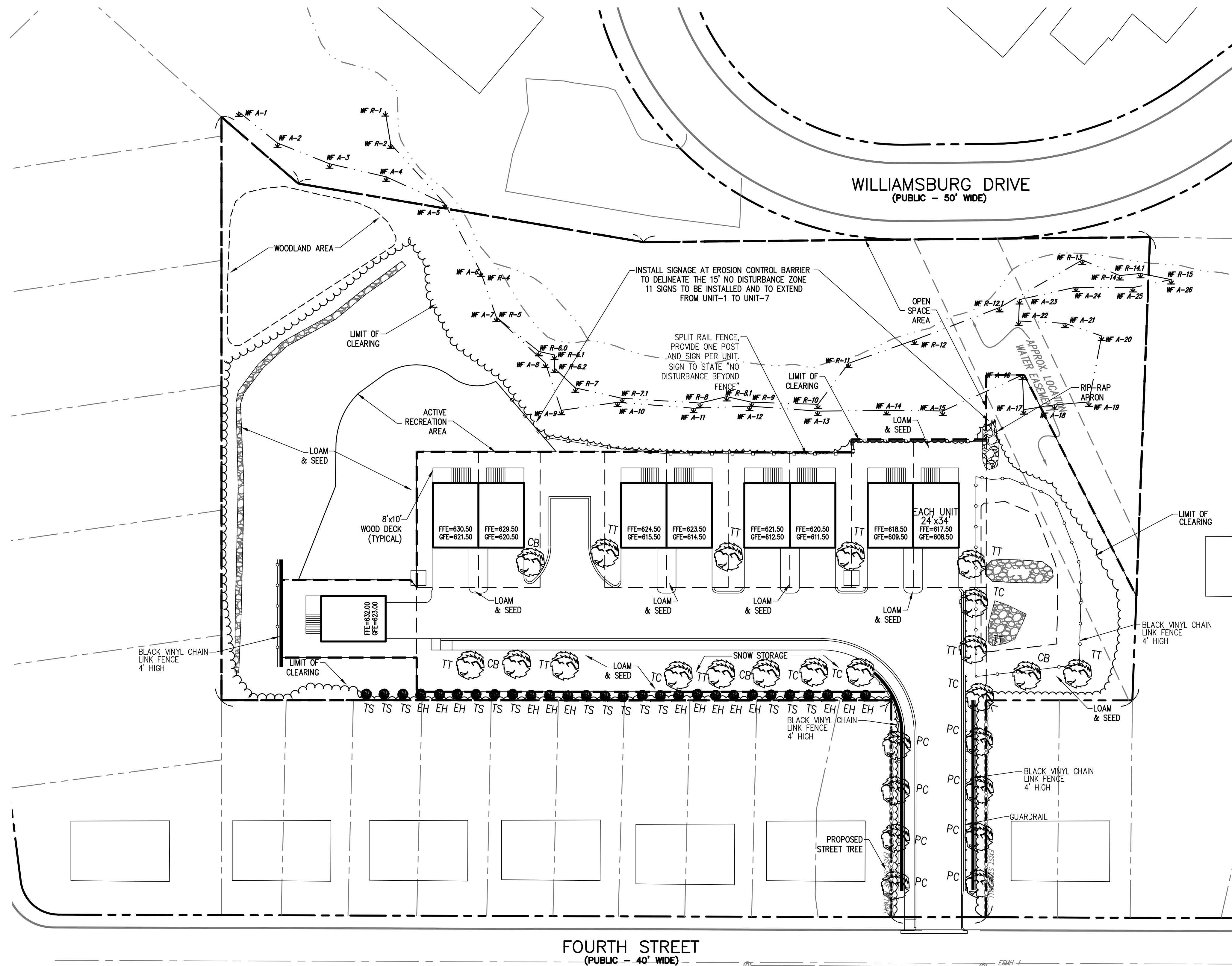
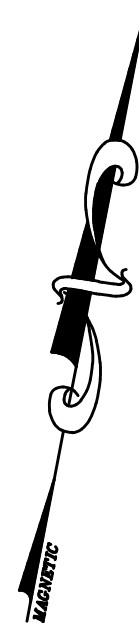
**SHEET NO.:**

**SHEET 5 OF 11**

**PROJECT NO.:**

**G-636**

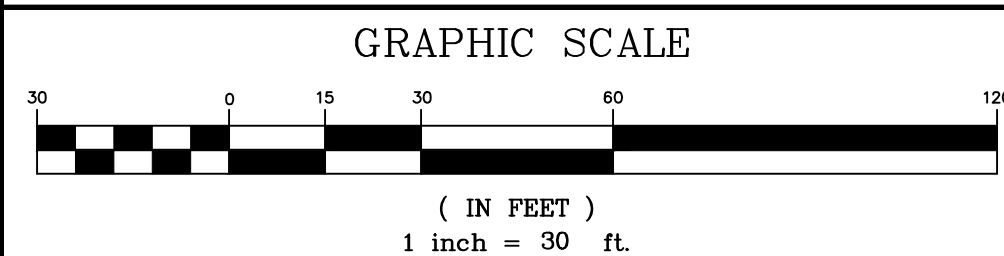




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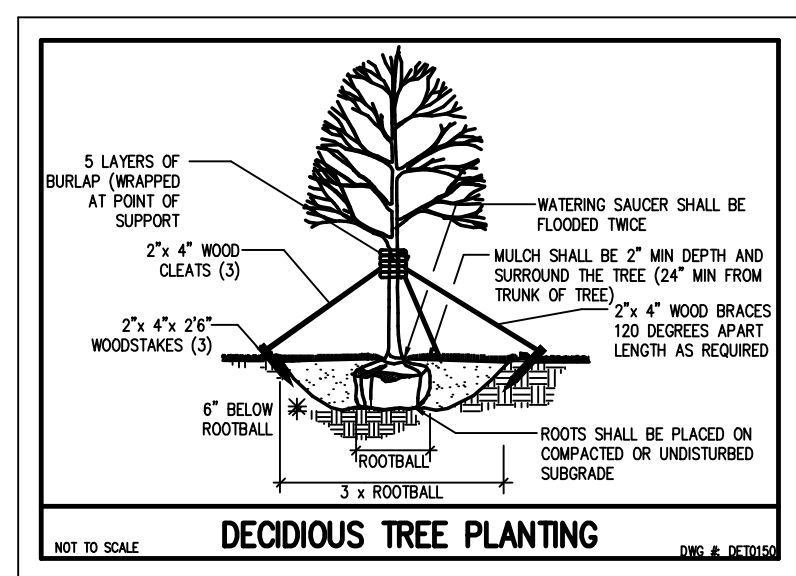
**PREPARED BY:**

J.M. GRENIER ASSOCIATES INC.  
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**SCALE:** 1" = 30'  
**DATE:** OCTOBER 22, 2021

**LANDSCAPE PLAN**

**SHEET NO.:** SHEET 6 OF 11  
**PROJECT NO.:** G-636



PROPOSED TREE LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TT	9	TILIA TOMENTOSA	SILVER LINDEN	3" to 3-1/2" DIA.	B&B
CB	5	CARPINUS BETULUS	EUROPEAN HORNBEAM	3" to 3-1/2" DIA.	B&B
TC	5	TILIA CORDATA	GREENSPIRE LINDEN	3" to 3-1/2" DIA.	B&B
PC	8	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND PEAR	3" to 3-1/2" DIA.	B&B

PROPOSED SHRUB SCREENING					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	NOTES
EH	14	TSUGA CANADENSIS	EASTERN HEMLOCK	7 FEET	B&B
TS	14	THUJA STANDISHII X PLICATA	THUJA GREEN GIANT	7 FEET	B&B

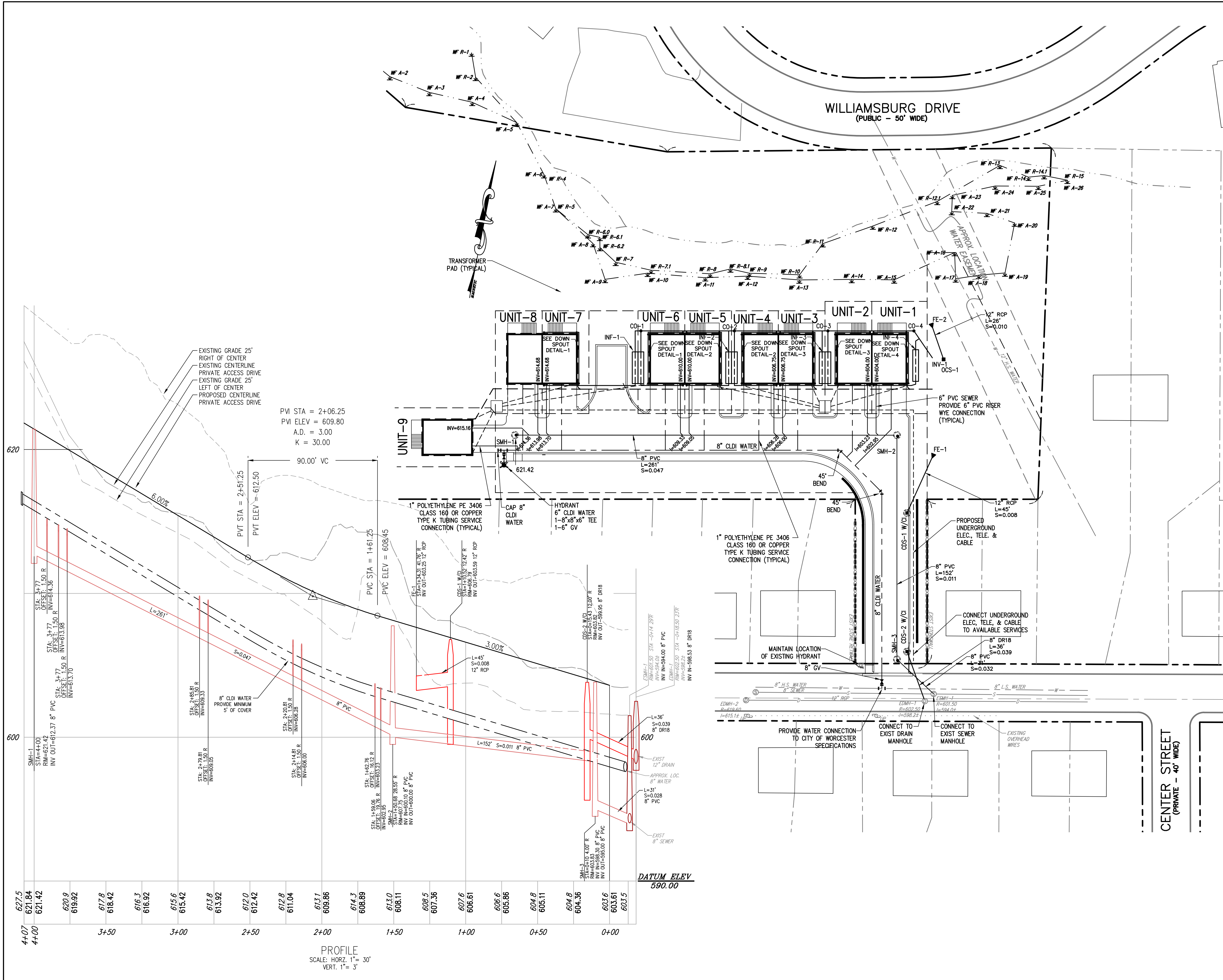
**NOTES:**

NO TREES IN EXCESS OF NINE (9) INCHES IN DIAMETER EXISTS WITHIN THE LIMIT OF SITEWORK, AS CONFIRMED BY A SITE WALK PERFORMED ON 3/23/06.





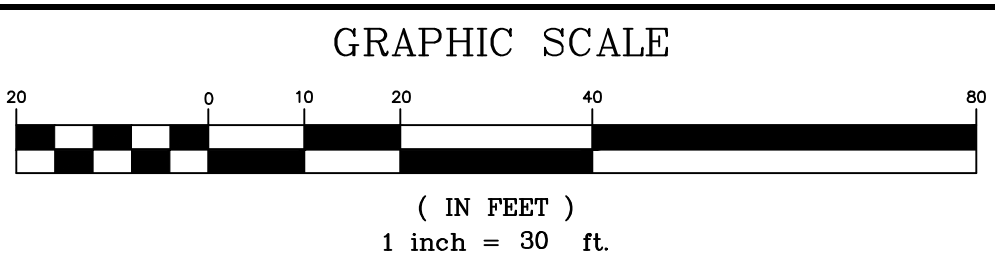




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**Professional Engineer Seal:**

J.M. Grenier  
REGISTERED PROFESSIONAL ENGINEER  
No. 47812  
10/22/21



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**DRIVEWAY PLAN & PROFILE**

**SHEET NO.:** SHEET 8 OF 11

**PROJECT NO.:** G-636







